



MEMORANDUM

TO: Algood Municipal Planning Commission Members

FROM: Tommy Lee, Staff Planner

DATE: March 19, 2026

SUBJECT: March 26, 2026 Planning Commission Meeting

The Algood Municipal Planning Commission will hold its regularly scheduled meeting on Thursday, March 26, 2026 at 6:00 pm in the Algood City Hall. The agenda for the planning commission meeting is as follows:

1. Call to order.
2. Roll Call.
3. Approval of the February 26, 2026 minutes.
4. Consideration of final site plan to establish office space and warehousing for property located at Mirandy Road and Highway 111 (Mack Construction Site Plan)* (study)
5. Discussion regarding updating the residential section of the land use plan.
6. Other Business as Necessary.
7. Adjourn.

CTL

***See Agenda Review**

Chairman Marshall Judd ____ Dan Taylor ____ Secretary Ruby Hawkins ____ Buck Fowler ____ Sandy Brecker ____

Jeremy Whitson ____ Danny Richardson ____ City Administrator Keith Morrison ____ Building Inspector Bob Lane ____

Others: _____

Agenda Review

Mack Construction Site Plan—Study

Mack Construction submitted a final site plan to establish office space and warehousing for property located on Mirandy Road and Highway 111. The proposed building would consist of 4,950 square feet. The site plan depicts that 750 square feet will be designated for office space and 4,200 square feet designated as warehouse space. According to Article VI, Section 5, subsection B, 14, twelve (12) parking spaces are required and the submitted site plan has twenty-four (24). The lot as it exists is 6.53 acres and the remaining acreage is to be reserved for a parking area and a green space. The lot is served by an existing eight (8) inch sewer line, an existing six (6) inch water line and an existing fire hydrant. The site plan complies with all other requirements established in Article VII, Section 2, B, 2 of the Algood Zoning Ordinance. The site plan and the application are included for review.

Chairman Marshall Judd ____ Dan Taylor ____ Secretary Ruby Hawkins ____ Buck Fowler ____ Sandy Brecker ____

Jeremy Whitson ____ Danny Richardson ____ City Administrator Keith Morrison ____ Building Inspector Bob Lane ____

Others: _____

**REPORT OF MEETING
ALGOOD MUNICIPAL PLANNING COMMISSION
FEBRUARY 26, 2026**

MEMBERS PRESENT

Marshall Judd
Ruby Hawkins
Dan Taylor
Danny Richardson
Sandy Brecker
Buck Fowler

MEMBERS ABSENT

Jeremy Whitson

STAFF PRESENT

Tommy Lee, Staff Planner
Keith Morrison, City Administrator

OTHERS PRESENT

Bob Lane, Building Inspector
Patt Judd
Bill Benson
Daniel Averitt
Joe Nichols
Addam Arrington
Chris Heddrick
Michelle Heddrick

ITEM 1: CALL TO ORDER

Upon determining a quorum was present, a special meeting of the Algood Municipal Planning Commission (PC) meeting was called to order by Chairman Marshall Judd on February 26, 2026 at 6:00 p.m.

ITEM 2: APPROVAL OF JANUARY 22, 2026 MINUTES

After calling the meeting to order, Chairman Judd asked for approval of the minutes from the January 22, 2026 meeting. After discussion, Buck Fowler motioned that the minutes be approved as presented. Dan Taylor seconded and the motion passed with a vote of all ayes.

ITEM 3: CONSIDERATION OF FINAL SITE PLAN TO ESTABLISH A STORAGE BUILDING FOR PROPERTY LOCATED AT 320 INDUSTRIAL CIRCLE (HARPER SITE PLAN) (STUDY)

Joe Nichols submitted a final site plan on behalf of Recreational Concepts to establish office space and warehousing for property located at 2070 Burton Branch Road. The proposed building would consist of 9,150 square feet. The site plan depicts that 5,040 square feet will be designated for office space and 4,150 square feet designated as warehouse space. According to Article VI, Section 5, subsection B, 14, 30 parking spaces are required and the submitted site plan has thirty-one (31). The lot as it exists is 2.24 acres and the remaining acreage is to be reserved for a parking area and a green space. The lot is served by an existing eight (8) inch sewer line, an existing twelve (12) inch water line and an existing fire hydrant. The site plan complies with all other requirements established in Article VII, Section 2, B, 2 of the Algood Zoning Ordinance. The site plan and the application are included for review. Staff Planner and City Administrator Keith Morrison both stated that the site plan met all of the requirements established in the zoning ordinance. After discussion, Buck Fowler made a motion to move the final site plan from study to action. Danny Richardsdon seconded and the motion passed with a vote of all ayes. Then, Danny Richardson made a motion to approve the submitted final site plan. Dan Taylor seconded and the motion passed with a vote of all ayes.

ITEM 4: DISCUSSION REGARDING DUPLEXES AS A PERMITTED USE IN CERTAIN RESIDENTIAL DISTRICTS.

At the August 28, 2025 meeting, Chairman Marshall Judd requested that the PC discuss the possibility of allowing two-family residential structures (duplexes) in certain residential districts at the next meeting. At the September 25, 2025 meeting, Chairman Judd opened the floor for discussion regarding duplexes. Staff Planner stated that currently, duplexes are only permitted in the R-3 (High Density Residential) district but at one time they were a conditional use in both the R-1 (Low Density Residential) and R-2 (Medium Density Residential). During discussion, it was the consensus of the PC that duplexes should be allowed in both the R-1 and R-2

districts at some capacity with certain conditions. After discussion, Chairman Judd requested that the Staff Planner prepare a zoning ordinance amendment to allow duplexes as a conditional use in the R-1 district and a permitted use in the R-2 district, subject to the following requirements: the lot must be at least 15,000 square feet; the minimum front setback must be 35 feet; the duplex must have a minimum of 8 parking spaces; and the maximum lot coverage must be 40 percent. At the October 23, 2025 meeting, Staff Planner presented the following zoning ordinance amendments to the PC for consideration:

SECTION 1: Article V, Section 1, B, 2.a is hereby amended and will read as follows:

Duplexes/Two family residential structures compliant with Article VI, Section 31

SECTION 2: Article V, Section 2.B.1. b. is hereby amended and will read as follows:

Duplexes/Two family residential structures compliant with Article VI, Section 31

SECTION 3: Article VI, Section 31 is hereby added and will read as follows:

SECTION 31 DUPLEXES/TWO FAMILY RESIDENTIAL STRUCTURES

- 1. Lot must be a minimum 15,000 square feet*
- 2. Minimum front setback of thirty-five (35) feet*
- 3. Must have at least eight (8) parking spaces*
- 4. Maximum lot coverage of forty (40) percent.*

After discussion, Danny Richardson made a motion to recommend to the city council that they adopt the aforementioned amendments to the zoning ordinance. Buck Fowler seconded and the motion passed with a vote of all ayes. At the January 22, 2026 meeting, City Administrator Keith Morrison stated that the city council had concerns regarding the proposed amendment and that the PC should continue to study the issue. Morrison stated that a more restrictive amendment might be what the council is seeking with regards to the issue. Staff Planner presented several potential revisions to the amendment including but not limited to increased lot sizes, lot widths and setbacks, removing duplexes as a conditional use in R-1 and increasing open space and parking requirements. Morrison stated that City Attorney Danny Rader suggested an overlay district. Staff Planner requested that the PC members study the proposed amendments and continue discussion at the next meeting. Chairman Judd tabled discussion. At the February 26, 2026 meeting, Chairman Judd reopened discussion. During discussion, it was the consensus of the PC that duplexes should be a prohibited use in the R-1 districts and that a screening requirement should be added of either an opaque fence or evergreen trees when a duplex abuts an R-1 district. Staff planner stated that amendment would now read as follows:

SECTION 1: Article V, Section 2.B.2 d. is hereby amended and will read as follows:

Duplexes/Two family residential structures compliant with Article VI, Section 31

SECTION 2: Article VI, Section 31 is hereby added and will read as follows:

SECTION 31 DUPLEXES/TWO FAMILY RESIDENTIAL STRUCTURES

- 1. Lot must be a minimum 15,000 square feet*
- 2. Minimum front setback of thirty-five (35) feet*

3. *Must have at least eight (8) parking spaces*
4. *Maximum lot coverage of forty (40) percent.*
5. *Screening of either an opaque fence or evergreen trees are required for any property line that abuts an R-1 (Low Density Residential) District*

After discussion, Sandy Brecker made a motion to recommend to the city council that they adopt the aforementioned amendments to the zoning ordinance. Dany Taylor seconded and the motion passed with a vote of five (5) ayes (Judd, Taylor, Fowler, Richardson and Brecker) to one (1) nay (Hawkins) with no abstentions.

ITEM 5: DISCUSSION REGARDING UPDATING THE ALGOOD LAND USE AND TRANSPORTATION PLAN

At the January 22, 2026 meeting, Staff Planner and City Administrator Keith Morrison addressed the Planning Commission and stated that the Algood Land Use and Transportation plan (LUTP) was in need of an update. Staff Planner stated that the PC has updated the throughfare portion of the LUTP by giving the streets an arterial, collector or local designation. Staff stated that the next step in the update would be to establish priorities for the city. Staff presented five (5) potential areas for priority which were transportation and traffic management, managed urban growth and land use, public facilities and community landmarks, infrastructure resilience and economic development and fiscal health. Staff stated that each proposed priority had multiple recommendations and Staff recommended that the PC members study the proposed areas of priority and suggestions and be prepared to discuss those at the next PC meeting. Chairman Judd tabled discussion. At the February 26, 2026 meeting, the PC had no further recommendations for the Staff Planner or City Administrator Keith Morrison. Chairman Judd tabled discussion.

With no other business to discuss, Buck Fowler made a motion to adjourn the meeting. Marshall Judd seconded and the motion passed with a unanimous vote. The next meeting of the Algood Municipal Planning Commission is scheduled for March 26, 2026.

CTL

Chairman

Date

Secretary

Date

REZONING: _____ FEE: \$125.00

✓ SITE PLAN REVIEW: _____ FEE: \$125.00

West _____

Public Hearing Notice Date _____ Public Hearing Date _____

HIGHWAY 111
(RIGHT-OF-WAY WIDTH VARIES)

TREE SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	TRUNK	HEIGHT
1	SWEET GUM (SG)*	LIQUIDAMBAR STYACIFLUA	1.75" CAL	8'-10'

LANDSCAPED AREA TO BE NO LESS THAN 5% OF PARKING AREA.
PARKING AREA: (24 SPACES) x (9'x19') = 4104 SF
LANDSCAPE AREA REQ'D: (.05) x (4104) = 205 SF
LANDSCAPED ISLAND AREA: 258 SF
1 ISLANDS PROVIDED @ 1 TREE/ISLAND REQ'D = 1 TREE

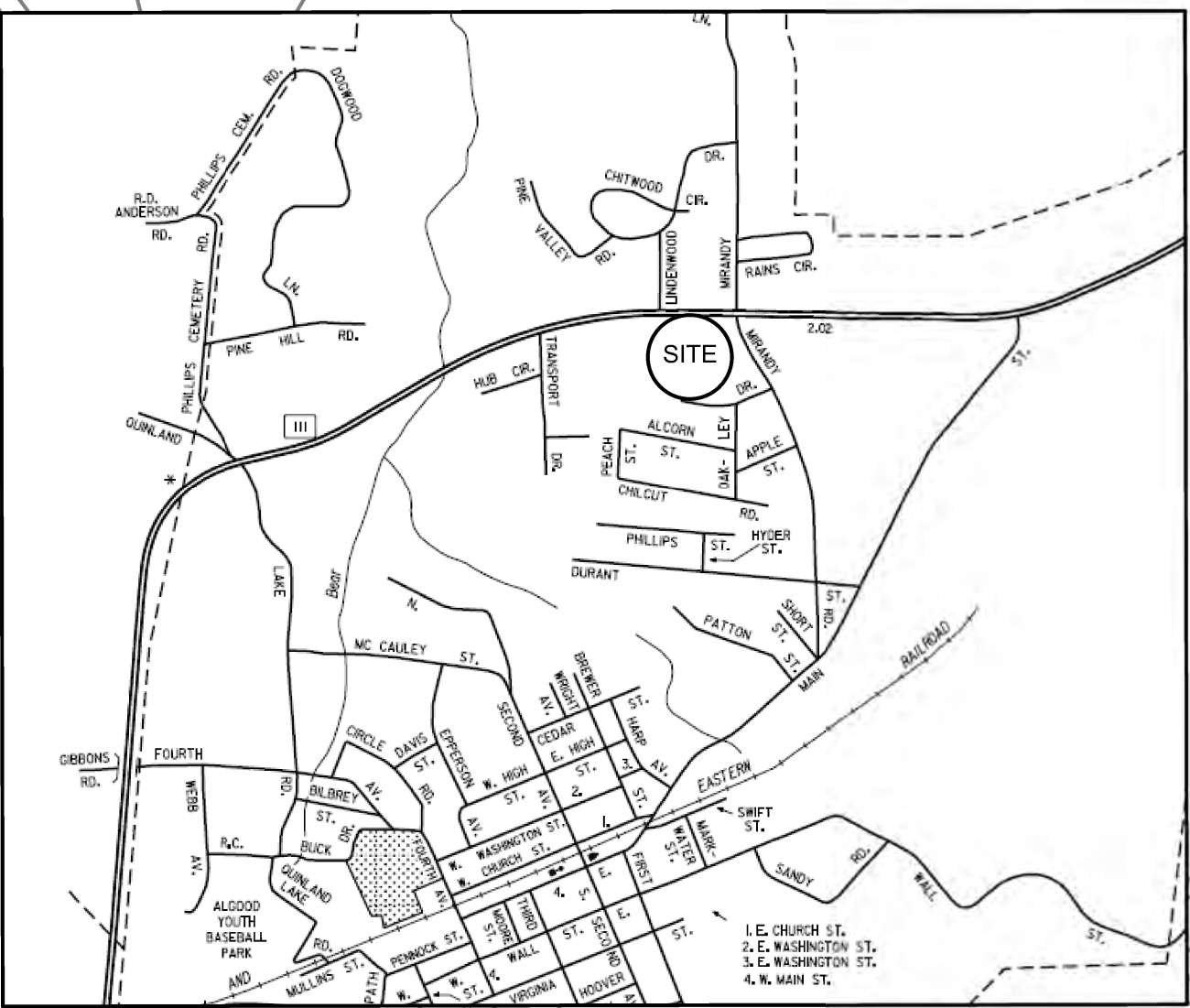
*OWNER MAY CHANGE TREE SPECIES WITH APPROVAL FROM CITY OF ALGODD.

PARKING

1 SPACE PER 250 SF OF OFFICE
1 SPACE PER 500 SF OF OTHER
(750 SF OFFICE) / (250 SF / 1 SPACE)
+ (4200 SF WAREHOUSE) / (500 SF / 1 SPACE)
= 12 SPACES MINIMUM
24 SPACES PROVIDED, 1 ADA ACCESSIBLE

ZONING
PROPERTY ZONED I-1
ADJACENT PROPERTIES TO SOUTH, SOUTHWEST ZONED R-2
ADJACENT PROPERTY TO WEST ZONED C-A
ADJACENT PROPERTIES TO SOUTHEAST, EAST ZONED R-1

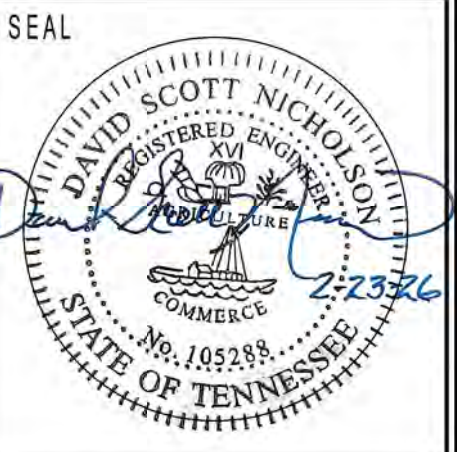
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VICINITY MAP
NOT TO SCALE

STEP
RECORD

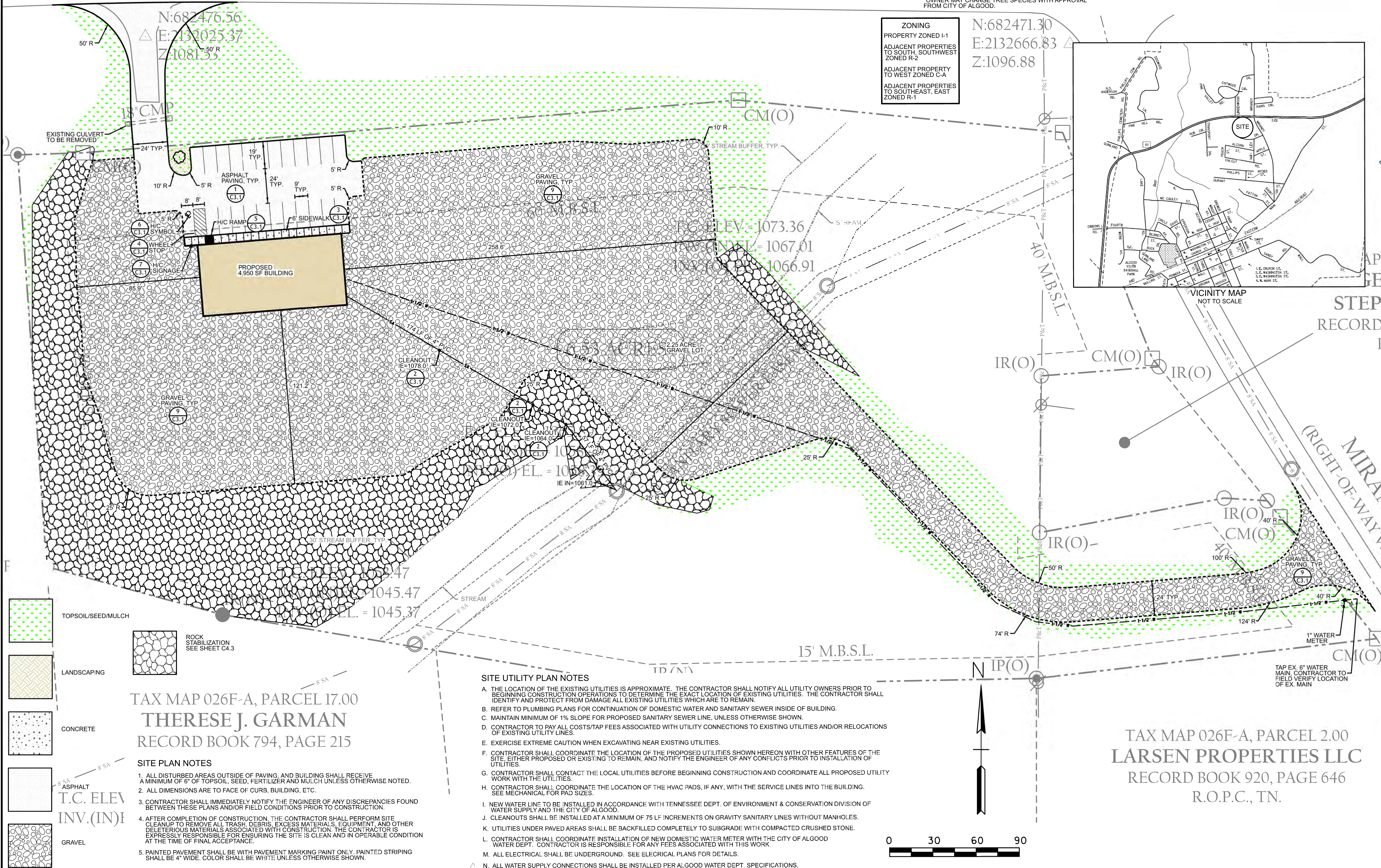
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CIVIL ENGINEERING AND SURVEYING, LLC
214 EAST STEVENS STREET
COCKEVILLE, TENNESSEE 38501
931-528-5266
WWW.CES-TN.COM



REVISIONS	1	2	3	4	5

CIVIL PLANS FOR
MACK CONSTRUCTION
OWNER: MACK CONSTRUCTION
LOCATION: ALGODD, TENNESSEE

C1.1
SHEET NO.
TITLE: SITE PLAN
PROJECT NUMBER: 25-19
DATE: 11-20-25



SITE UTILITY PLAN NOTES

- THE LOCATION OF THE EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS PRIOR TO BEGINNING CONSTRUCTION OPERATIONS TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL IDENTIFY AND PROTECT FROM DAMAGE ALL EXISTING UTILITIES WHICH ARE TO REMAIN.
- REFER TO PLUMBING PLANS FOR CONTINUATION OF DOMESTIC WATER AND SANITARY SEWER INSIDE OF BUILDING.
- MAINTAIN MINIMUM OF 1% SLOPE FOR PROPOSED SANITARY SEWER LINE, UNLESS OTHERWISE SHOWN.
- CONTRACTOR TO PAY ALL COSTS/TAP FEES ASSOCIATED WITH UTILITY CONNECTIONS TO EXISTING UTILITIES AND/OR RELOCATIONS OF EXISTING UTILITY LINES.
- EXERCISE EXTREME CAUTION WHEN EXCAVATING NEAR EXISTING UTILITIES.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE PROPOSED UTILITIES SHOWN HEREON WITH OTHER FEATURES OF THE SITE, EITHER PROPOSED OR EXISTING TO REMAIN, AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL CONTACT THE LOCAL UTILITIES BEFORE BEGINNING CONSTRUCTION AND COORDINATE ALL PROPOSED UTILITY WORK WITH THE UTILITIES.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE HVAC PADS, IF ANY, WITH THE SERVICE LINES INTO THE BUILDING. SEE MECHANICAL FOR PAD SIZES.
- NEW WATER LINE TO BE INSTALLED IN ACCORDANCE WITH TENNESSEE DEPT. OF ENVIRONMENT & CONSERVATION DIVISION OF WATER SUPPLY AND THE CITY OF ALGODD.
- CLEANOUTS SHALL BE INSTALLED AT A MINIMUM OF 75 LF INCREMENTS ON GRAVITY SANITARY LINES WITHOUT MANHOLES.
- UTILITIES UNDER PAVED AREAS SHALL BE BACKFILLED COMPLETELY TO SUBGRADE WITH COMPACTED CRUSHED STONE.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW DOMESTIC WATER METER WITH THE CITY OF ALGODD WATER DEPT. CONTRACTOR IS RESPONSIBLE FOR ANY FEES ASSOCIATED WITH THIS WORK.
- ALL ELECTRICAL SHALL BE UNDERGROUND. SEE ELECTRICAL PLANS FOR DETAILS.
- ALL WATER SUPPLY CONNECTIONS SHALL BE INSTALLED PER ALGODD WATER DEPT. SPECIFICATIONS.
- WATER SERVICE LINE SHALL BE 1.5" SDR-21.

TAX MAP 026F-A, PARCEL 17.00
THERESE J. GARMAN
RECORD BOOK 794, PAGE 215

SITE PLAN NOTES

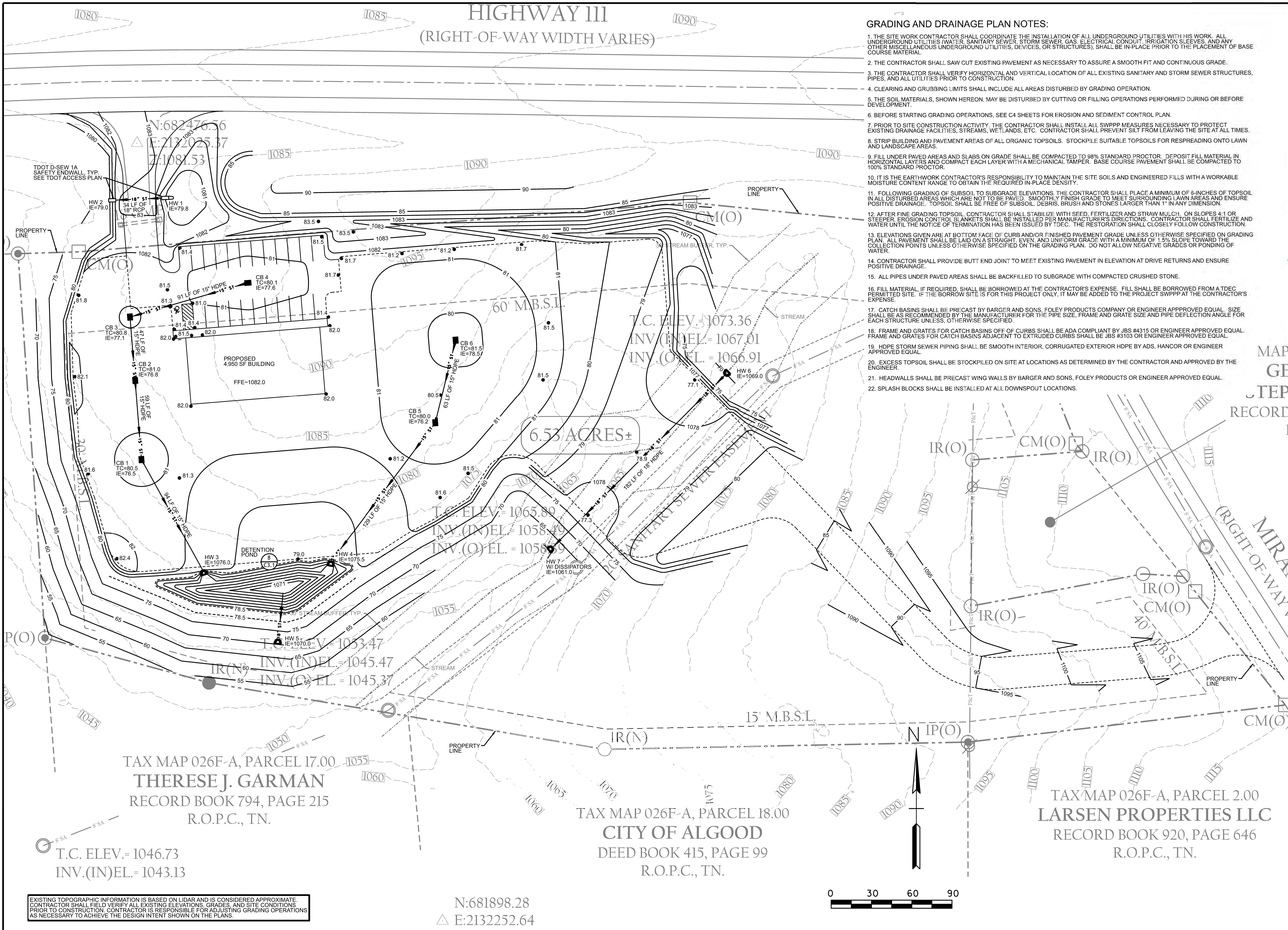
- ALL DISTURBED AREAS OUTSIDE OF PAVING, AND BUILDING SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL, SEED, FERTILIZER AND MULCH UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB, BUILDING, ETC.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS AND/OR FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM SITE CLEANUP TO REMOVE ALL TRASH, DEBRIS, EXCESS MATERIALS, EQUIPMENT, AND OTHER DELETERIOUS MATERIALS ASSOCIATED WITH CONSTRUCTION. THE CONTRACTOR IS EXPRESSLY RESPONSIBLE FOR ENSURING THE SITE IS CLEAN AND IN OPERABLE CONDITION AT THE TIME OF FINAL ACCEPTANCE.
- PAINTED PAVEMENT SHALL BE WITH PAVEMENT MARKING PAINT ONLY. PAINTED STRIPING SHALL BE 4" WIDE. COLOR SHALL BE WHITE UNLESS OTHERWISE SHOWN.

TAX MAP 026F-A, PARCEL 2.00
LARSEN PROPERTIES LLC
RECORD BOOK 920, PAGE 646
R.O.P.C., TN.

HIGHWAY 111
(RIGHT-OF-WAY WIDTH VARIES)

GRADING AND DRAINAGE PLAN NOTES:

1. THE SITE WORK CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, GAS, ELECTRICAL CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS UNDERGROUND UTILITIES, DEVICES, OR STRUCTURES), SHALL BE IN-PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.
2. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
3. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING SANITARY AND STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
4. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATION.
5. THE SOIL MATERIALS, SHOWN HEREON, MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT.
6. BEFORE STARTING GRADING OPERATIONS, SEE C4 SHEETS FOR EROSION AND SEDIMENT CONTROL PLAN.
7. PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPPP MEASURES NECESSARY TO PROTECT EXISTING DRAINAGE FACILITIES, STREAMS, WETLANDS, ETC. CONTRACTOR SHALL PREVENT SILT FROM LEAVING THE SITE AT ALL TIMES.
8. STRIP BUILDING AND PAVEMENT AREAS OF ALL ORGANIC TOPSOILS. STOCKPILE SUITABLE TOPSOILS FOR RESPREADING ONTO LAWN AND LANDSCAPE AREAS.
9. FILL UNDER PAVED AREAS AND SLABS ON GRADE SHALL BE COMPACTED TO 98% STANDARD PROCTOR. DEPOSIT FILL MATERIAL IN HORIZONTAL LAYERS AND COMPACT EACH LAYER WITH A MECHANICAL TAMPER. BASE COURSE PAVEMENT SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. IT IS THE EARTHWORK CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SITE SOILS AND ENGINEERED FILLS WITH A WORKABLE MOISTURE CONTENT RANGE TO OBTAIN THE REQUIRED IN-PLACE DENSITY.
11. FOLLOWING GRADING OF SUBSOIL TO SUBGRADE ELEVATIONS, THE CONTRACTOR SHALL PLACE A MINIMUM OF 6-INCHES OF TOPSOIL IN ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED. SMOOTHLY FINISH GRADE TO MEET SURROUNDING LAWN AREAS AND ENSURE POSITIVE DRAINAGE. TOPSOIL SHALL BE FREE OF SUBSOIL, DEBRIS, BRUSH AND STONES LARGER THAN 1" IN ANY DIMENSION.
12. AFTER FINE GRADING TOPSOIL, CONTRACTOR SHALL STABILIZE WITH SEED, FERTILIZER AND STRAW MULCH. ON SLOPES 4:1 OR STEEPER, EROSION CONTROL BLANKETS SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS. CONTRACTOR SHALL FERTILIZE AND WATER UNTIL THE NOTICE OF TERMINATION HAS BEEN ISSUED BY TDEC. THE RESTORATION SHALL CLOSELY FOLLOW CONSTRUCTION.
13. ELEVATIONS GIVEN ARE AT BOTTOM FACE OF CURB AND/OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE SPECIFIED ON GRADING PLAN. ALL PAVEMENT SHALL BE LAID ON A STRAIGHT, EVEN, AND UNIFORM GRADE WITH A MINIMUM OF 1.5% SLOPE TOWARD THE COLLECTION POINTS UNLESS OTHERWISE SPECIFIED ON THE GRADING PLAN. DO NOT ALLOW NEGATIVE GRADES OR PONDING OF WATER.
14. CONTRACTOR SHALL PROVIDE BUTT END JOINT TO MEET EXISTING PAVEMENT IN ELEVATION AT DRIVE RETURNS AND ENSURE POSITIVE DRAINAGE.
15. ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED TO SUBGRADE WITH COMPACTED CRUSHED STONE.
16. FILL MATERIAL, IF REQUIRED, SHALL BE BORROWED AT THE CONTRACTOR'S EXPENSE. FILL SHALL BE BORROWED FROM A TDEC PERMITTED SITE. IF THE BORROW SITE IS FOR THIS PROJECT ONLY, IT MAY BE ADDED TO THE PROJECT SWPPP AT THE CONTRACTOR'S EXPENSE.
17. CATCH BASINS SHALL BE PRECAST BY BARGER AND SONS, FOLEY PRODUCTS COMPANY OR ENGINEER APPROVED EQUAL. SIZE SHALL BE AS RECOMMENDED BY THE MANUFACTURER FOR THE PIPE SIZE, FRAME AND GRATE SIZE AND PIPE DEFLECTION ANGLE FOR EACH STRUCTURE UNLESS, OTHERWISE SPECIFIED.
18. FRAME AND GRATES FOR CATCH BASINS OFF OF CURBS SHALL BE ADA COMPLIANT BY JBS #4315 OR ENGINEER APPROVED EQUAL. FRAME AND GRATES FOR CATCH BASINS ADJACENT TO EXTRUDED CURBS SHALL BE JBS #3103 OR ENGINEER APPROVED EQUAL.
19. HDPE STORM SEWER PIPING SHALL BE SMOOTH INTERIOR, CORRUGATED EXTERIOR HDPE BY ADS, HANCOR OR ENGINEER APPROVED EQUAL.
20. EXCESS TOPSOIL SHALL BE STOCKPILED ON SITE AT LOCATIONS AS DETERMINED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
21. HEADWALLS SHALL BE PRECAST WING WALLS BY BARGER AND SONS, FOLEY PRODUCTS OR ENGINEER APPROVED EQUAL.
22. SPLASH BLOCKS SHALL BE INSTALLED AT ALL DOWNSPOUT LOCATIONS.



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DAVID SCOTT NICHOLSON
REGISTERED ENGINEER
No. 185285
STATE OF TENNESSEE
2/23/24

SEAL

REVISIONS
1
2
3
4
5

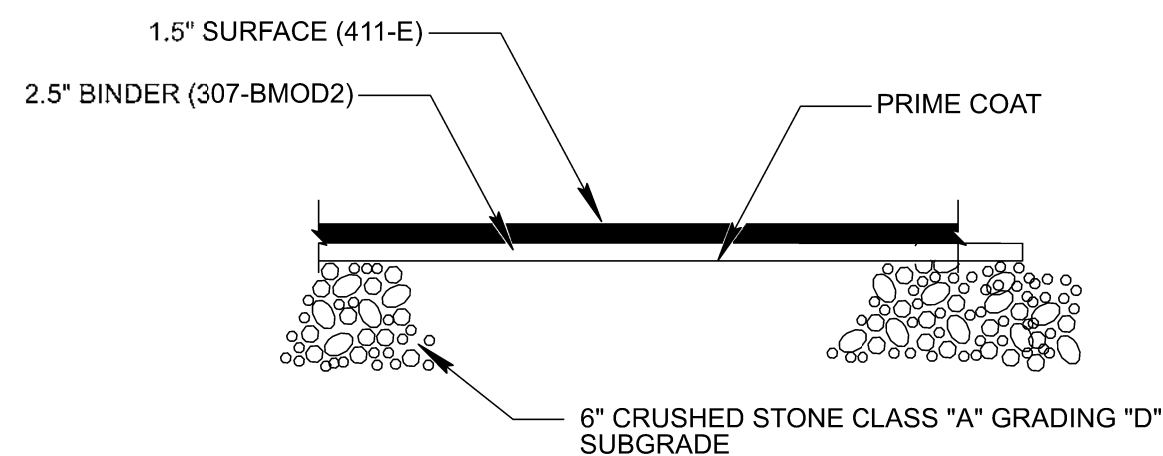
CIVIL PLANS FOR
MACK CONSTRUCTION

OWNER
MACK CONSTRUCTION
LOCATION
ALGOOD, TENNESSEE

SHEET NO.
C2.1

TITLE
GRADING PLAN

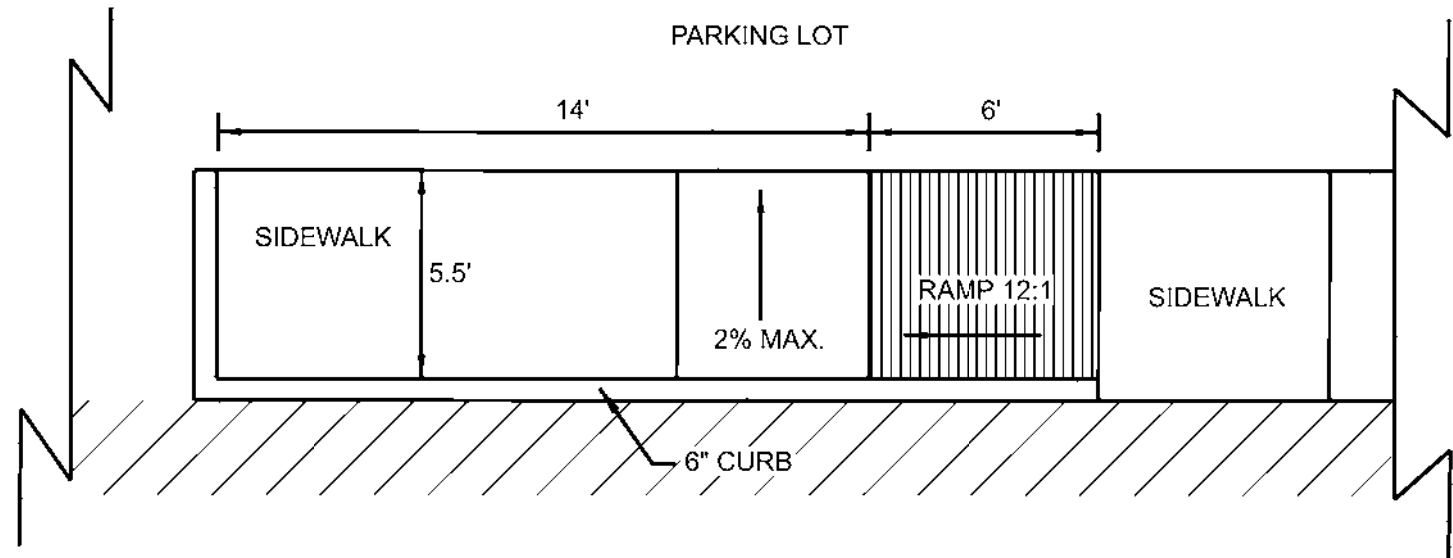
DATE
11-20-25
PROJECT NUMBER
25-19



ASPHALT PAVEMENT

NOT TO SCALE

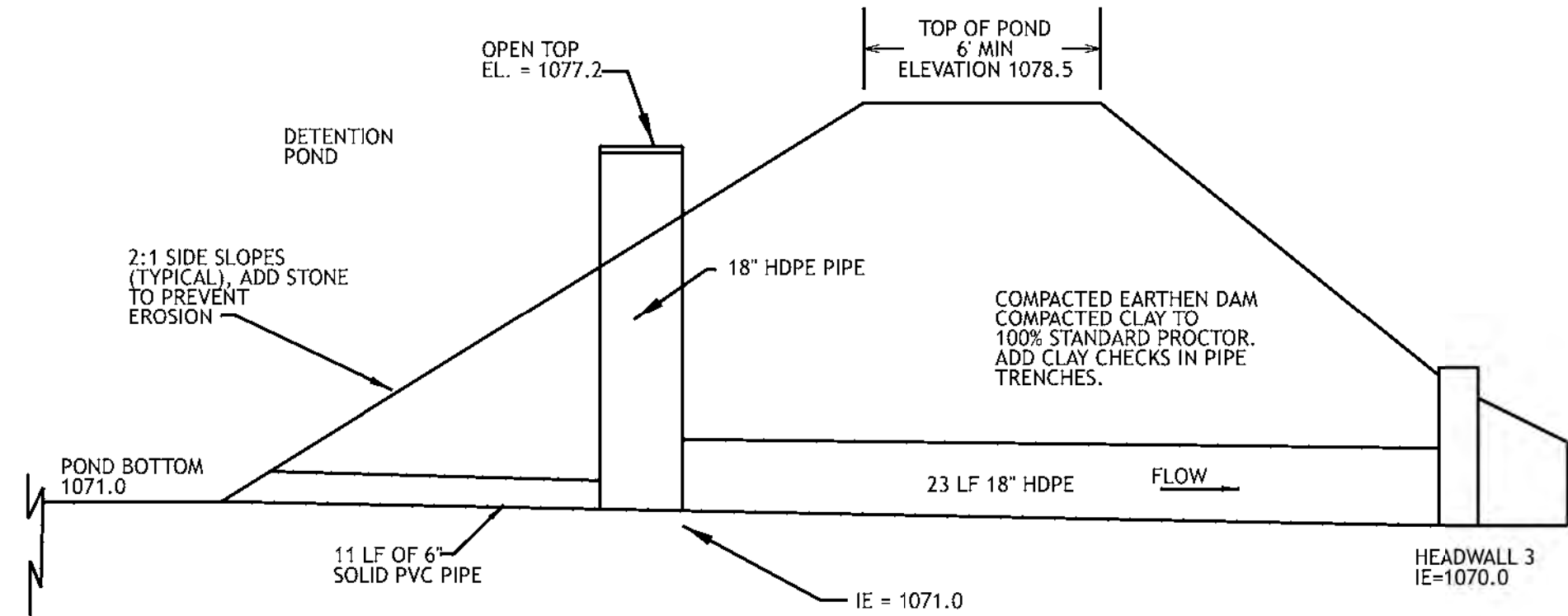
1



HANDICAP RAMP DETAIL

NOT TO SCALE

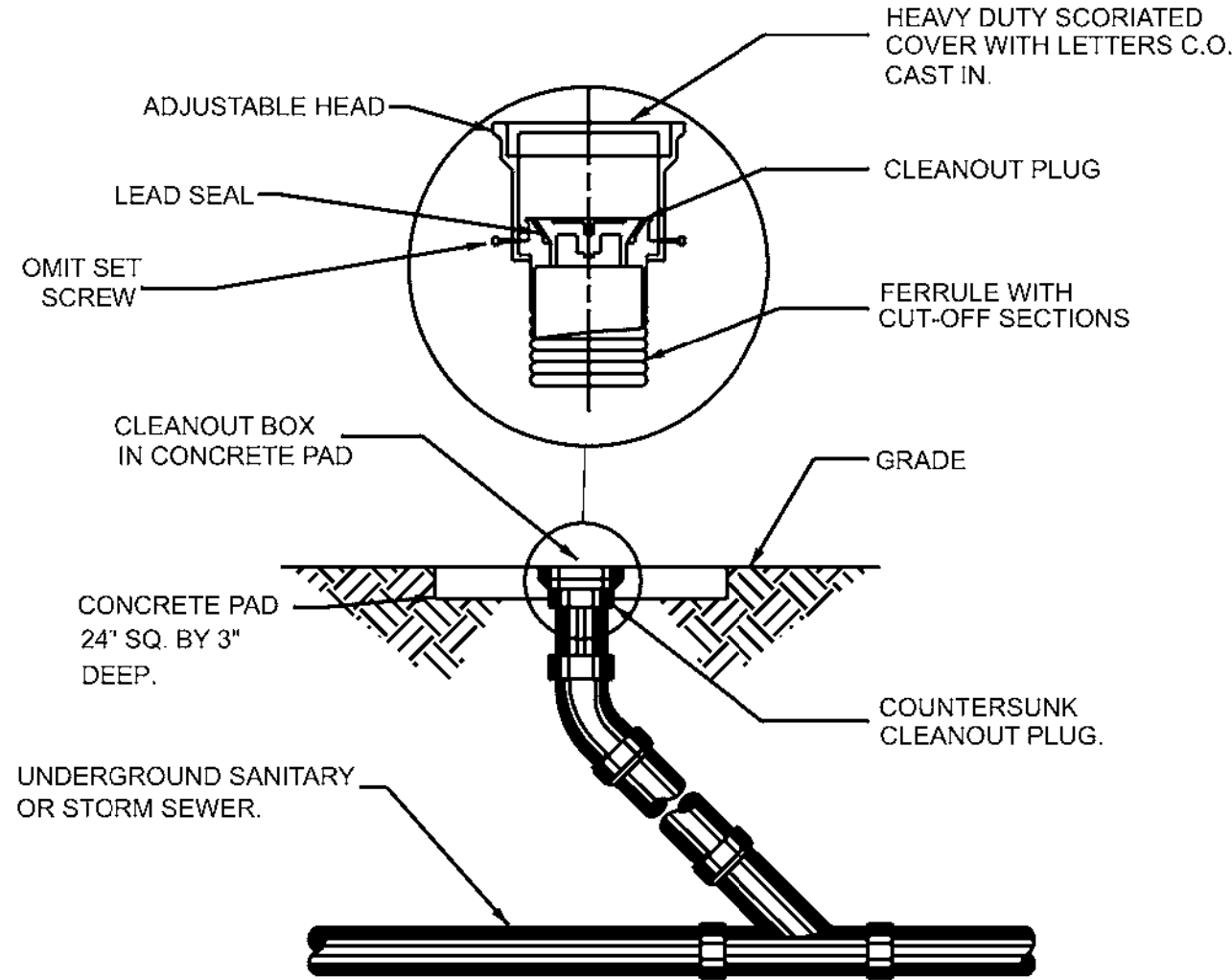
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DETENTION POND OUTLET DETAIL

NOT TO SCALE

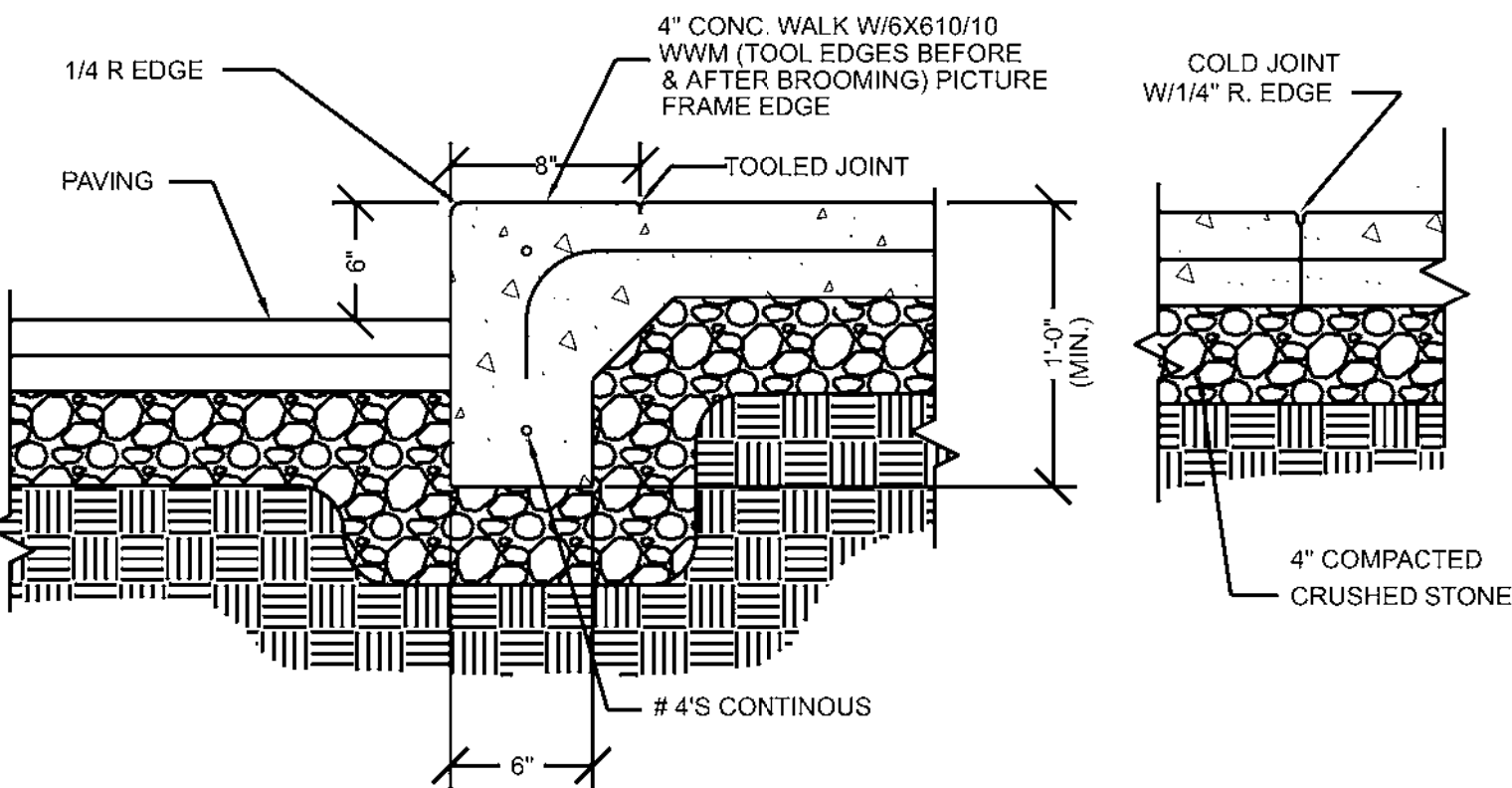
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EXTERIOR CLEANOUT DETAIL

NOT TO SCALE

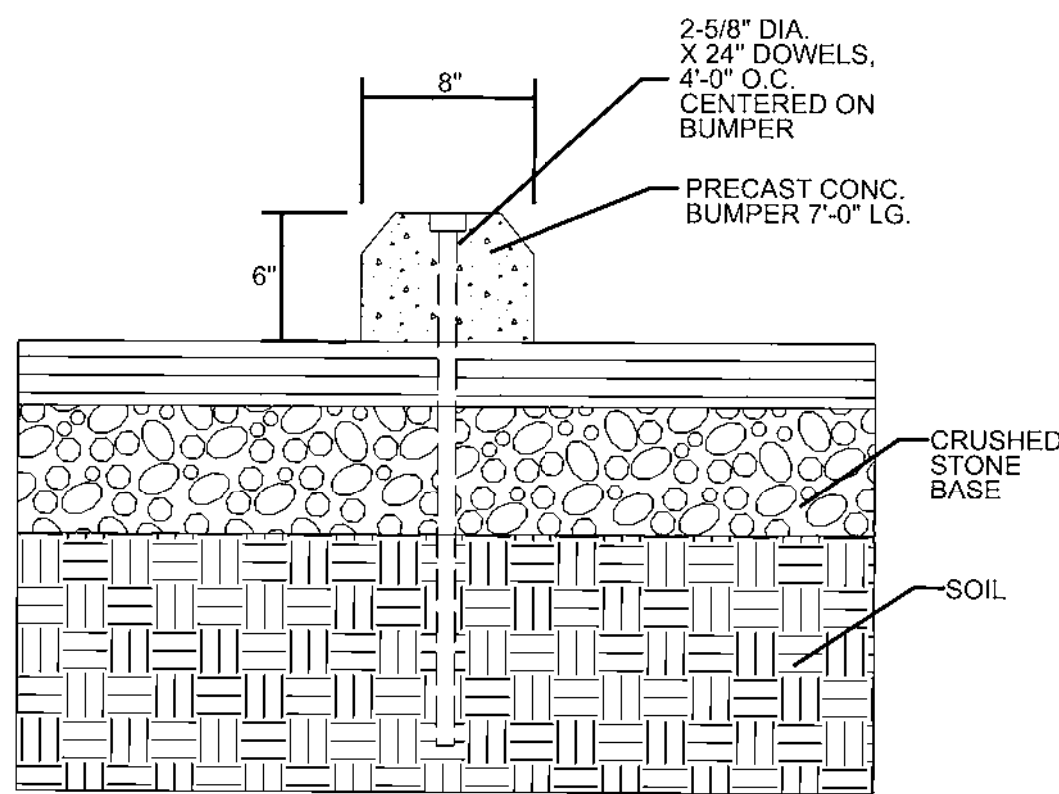
2



SIDEWALK @ PAVEMENT DETAIL

NOT TO SCALE

3



WHEEL STOP DETAIL

NOT TO SCALE

4

SYMBOL TO BE PAINTED ON ALL HANDICAP SPACES W/ 2 COATS OF BLUE TRAFFIC PAINT IN WHITE BACKGROUND



4" WIDE LINE- TYPICAL

H/C SYMBOL DETAIL

NOT TO SCALE

6

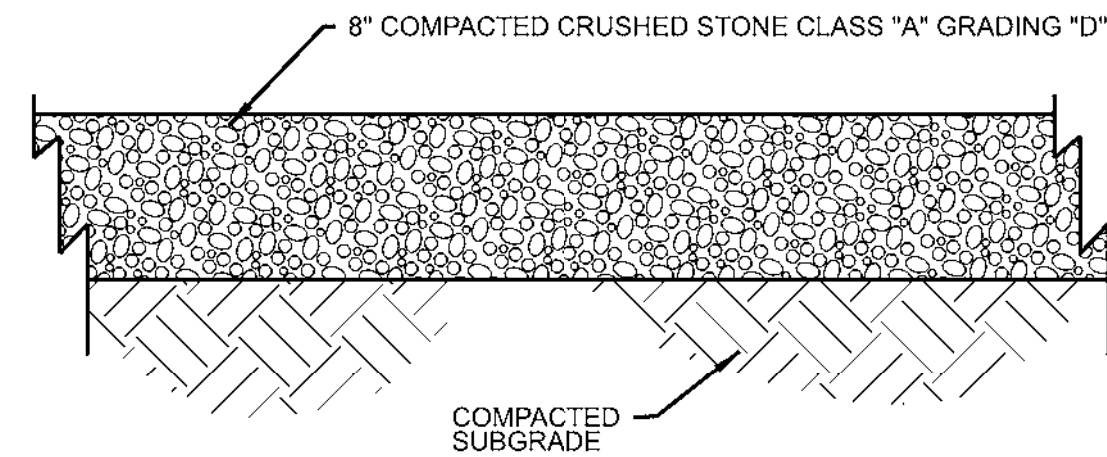


NOTE:
60" HEIGHT TO BOTTOM OF SIGN IS WHEN PEDESTRIAN PATH FROM CAR TO WALK DOES NOT PASS BY OR UNDER THE SIGN.
84" HEIGHT TO BOTTOM OF SIGN IS WHEN PEDESTRIAN PATH FROM CAR TO WALK PASS BY OR UNDER THE SIGN.

H/C PARKING SIGNAGE

NOT TO SCALE

7



GRAVEL PAVING

NOT TO SCALE

9

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214 EAST STEVENS STREET
COCKEYVILLE, TENNESSEE 38501

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WWW.CES-TN.COM

SEAL

DAVID SCOTT NICHOLSON
REGISTERED ENGINEER
No. 185288
STATE OF TENNESSEE
2-23-26

REVISIONS

1	2	3	4	5

CIVIL PLANS FOR

MACK CONSTRUCTION

OWNER
MACK CONSTRUCTION

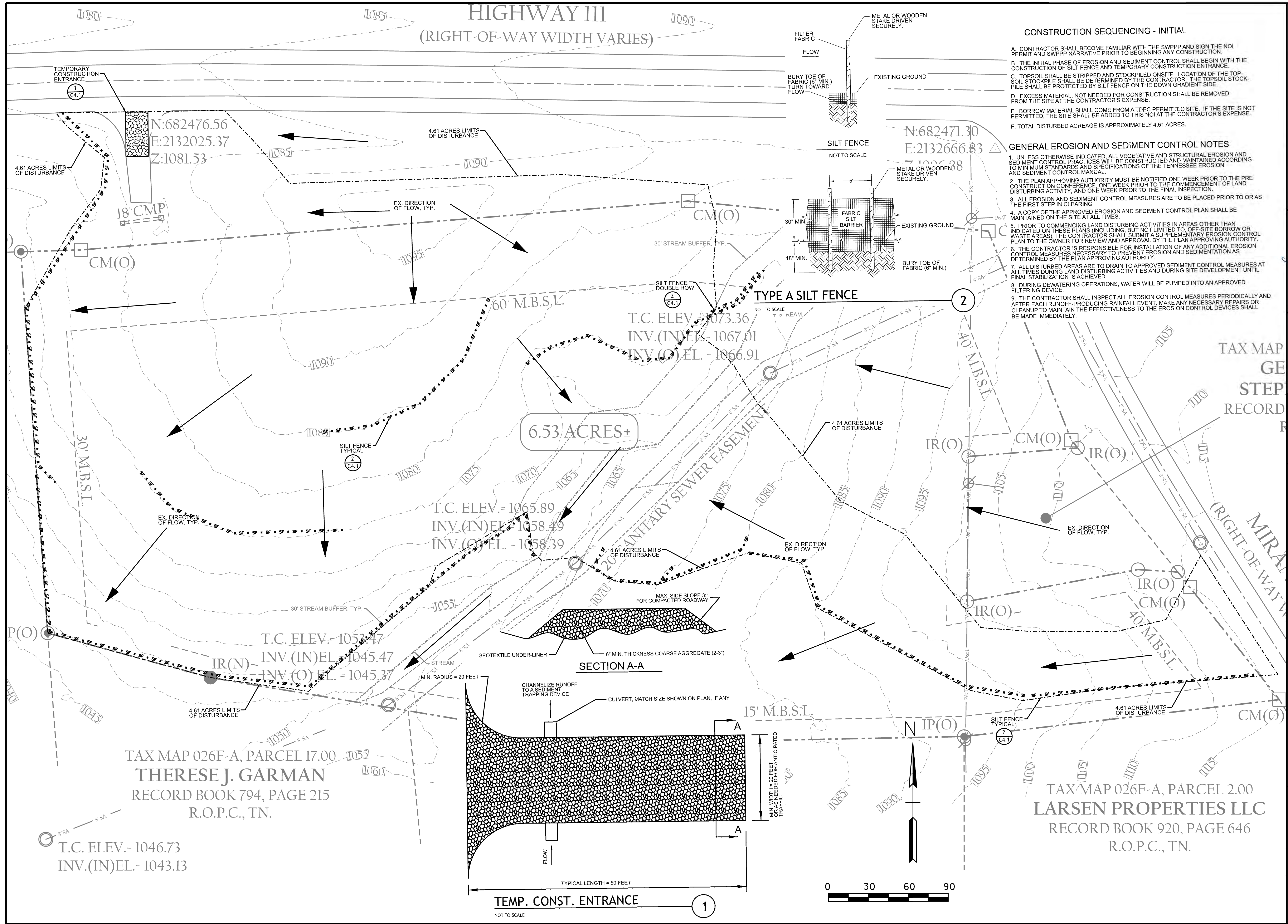
LOCATION
ALGOOD, TENNESSEE

SHEET NO.
C3.1

TITLE
SITE DETAILS

PROJECT NUMBER
25-19

DATE
2-23-26



CONSTRUCTION SEQUENCING - INITIAL

- CONTRACTOR SHALL BECOME FAMILIAR WITH THE SWPPP AND SIGN THE NOI PERMIT AND SWPPP NARRATIVE PRIOR TO BEGINNING ANY CONSTRUCTION.
- THE INITIAL PHASE OF EROSION AND SEDIMENT CONTROL SHALL BEGIN WITH THE CONSTRUCTION OF SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON-SITE. LOCATION OF THE TOPSOIL STOCKPILE SHALL BE DETERMINED BY THE CONTRACTOR. THE TOPSOIL STOCKPILE SHALL BE PROTECTED BY SILT FENCE ON THE DOWN GRADIENT SIDE.
- EXCESS MATERIAL, NOT NEEDED FOR CONSTRUCTION SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE.
- BORROW MATERIAL SHALL COME FROM A TDEC PERMITTED SITE. IF THE SITE IS NOT PERMITTED, THE SITE SHALL BE ADDED TO THIS NOI AT THE CONTRACTOR'S EXPENSE.
- TOTAL DISTURBED ACREAGE IS APPROXIMATELY 4.61 ACRES.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE TENNESSEE EROSION AND SEDIMENT CONTROL MANUAL.
- THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
- ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT, MAKE ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS TO THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

SEAL

DAVID SCOTT NICHOLSON
REGISTERED PROFESSIONAL ENGINEER
No. 185288
STATE OF TENNESSEE
2-23-24

REVISIONS

1	2	3	4	5
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CIVIL PLANS FOR
MACK CONSTRUCTION

SHEET NO.
C4.1

TITLE
EPSC INITIAL

PROJECT NUMBER
25-19

OWNER
MACK CONSTRUCTION

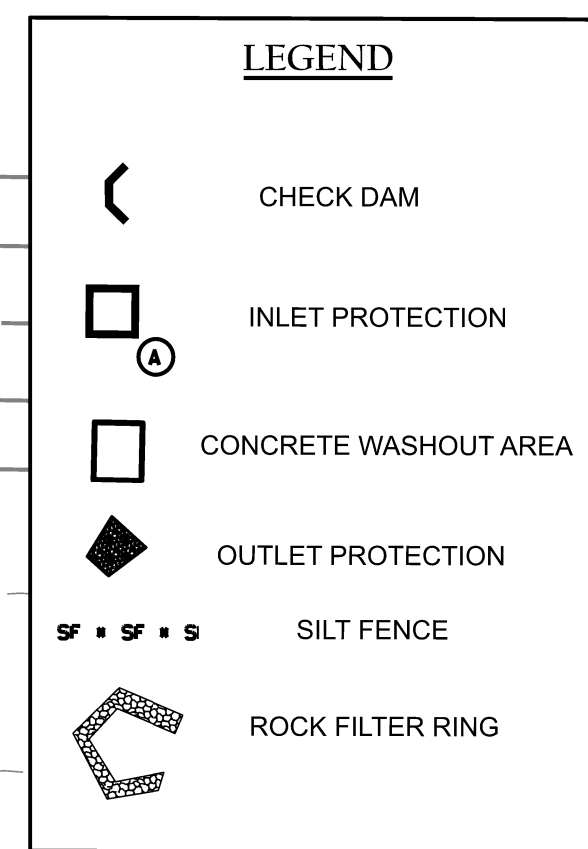
LOCATION
ALGOOD, TENNESSEE

DATE
11-20-25

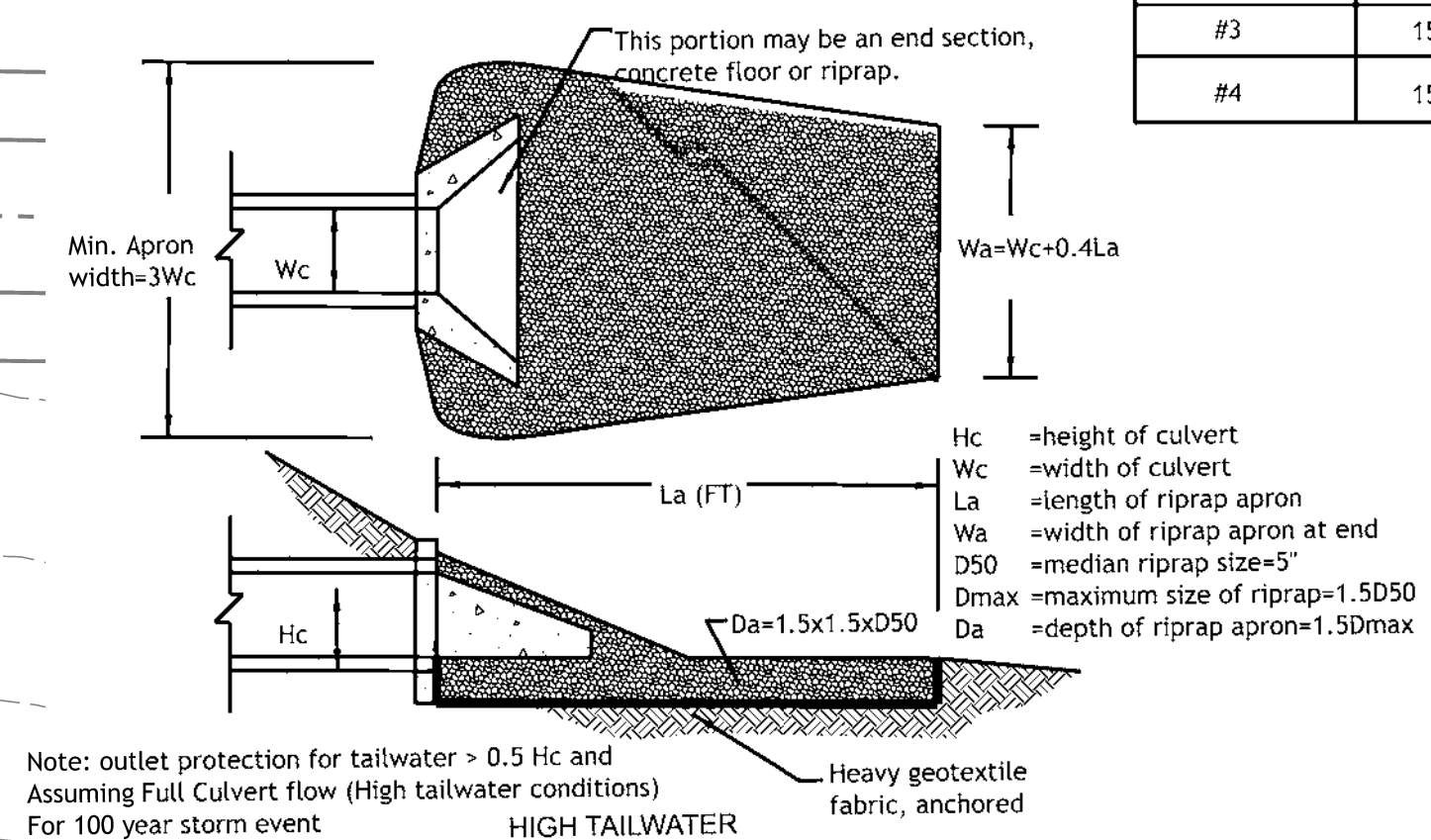
CIVIL ENGINEERING AND SURVEYING, LLC
214 EAST STEVENS STREET
COCKEVILLE, TENNESSEE 38501
931-528-5266
WWW.CES-TN.COM

CONSTRUCTION SEQUENCE (DURING CONSTRUCTION)

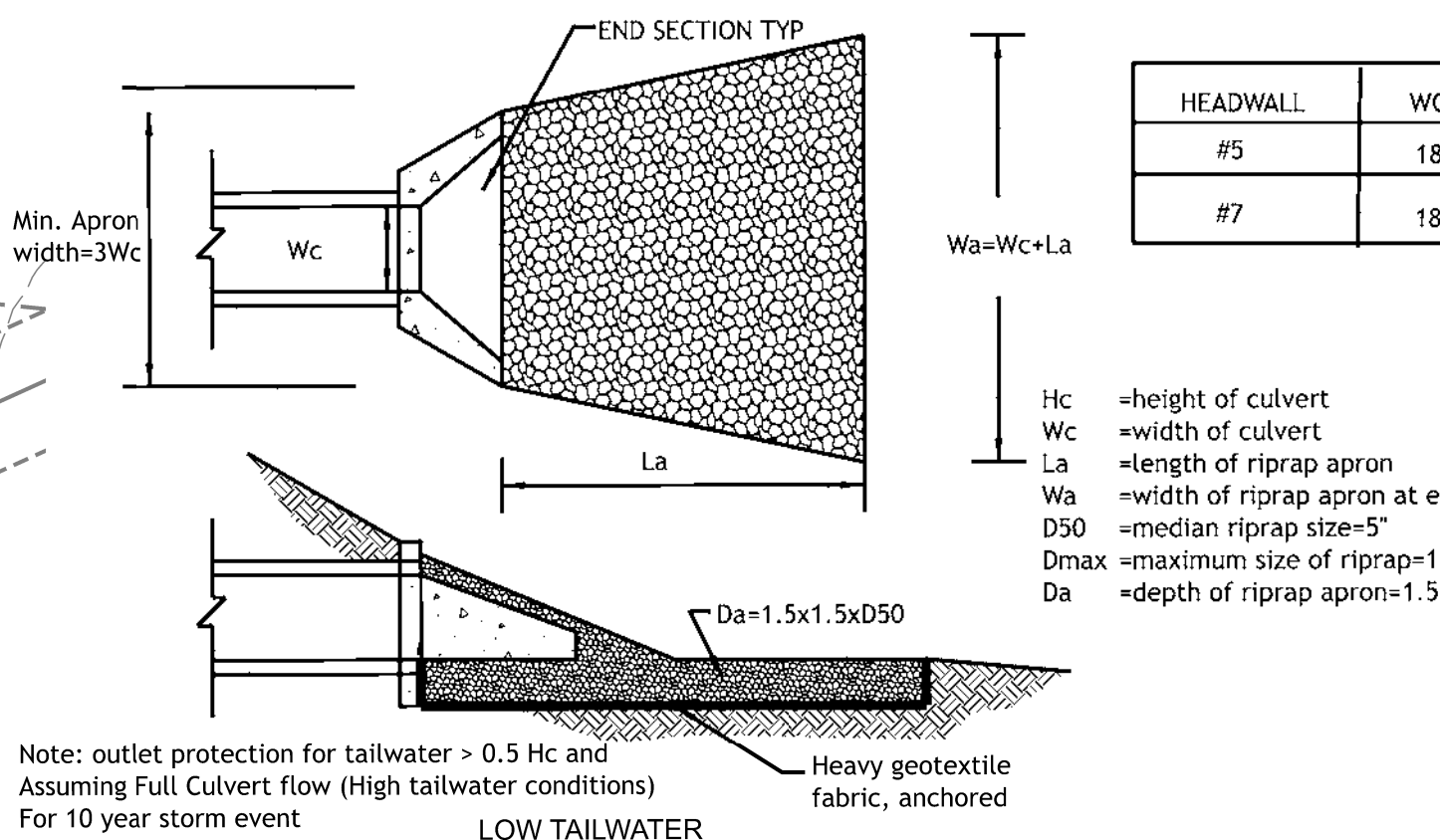
- A. MAINTAIN EXISTING INITIAL BMP'S.
- B. CONSTRUCT INLET PROTECTION AS STORM STRUCTURES ARE INSTALLED.
- C. CONSTRUCT OUTLET PROTECTION AT ALL HEADWALL OUTLETS.
- D. INSTALL UTILITIES PER DESIGN DRAWINGS.
- E. GRADE SITE PER PLAN. INSTALL ADDITIONAL BMP'S AS NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- F. STABILIZE AS SOON AS POSSIBLE (SEE SHEET C4.3).
- G. PARKING AREAS TO RECEIVE CRUSHED AGGREGATE AS SOON AS FINISHED GRADE HAS BEEN ACHIEVED.



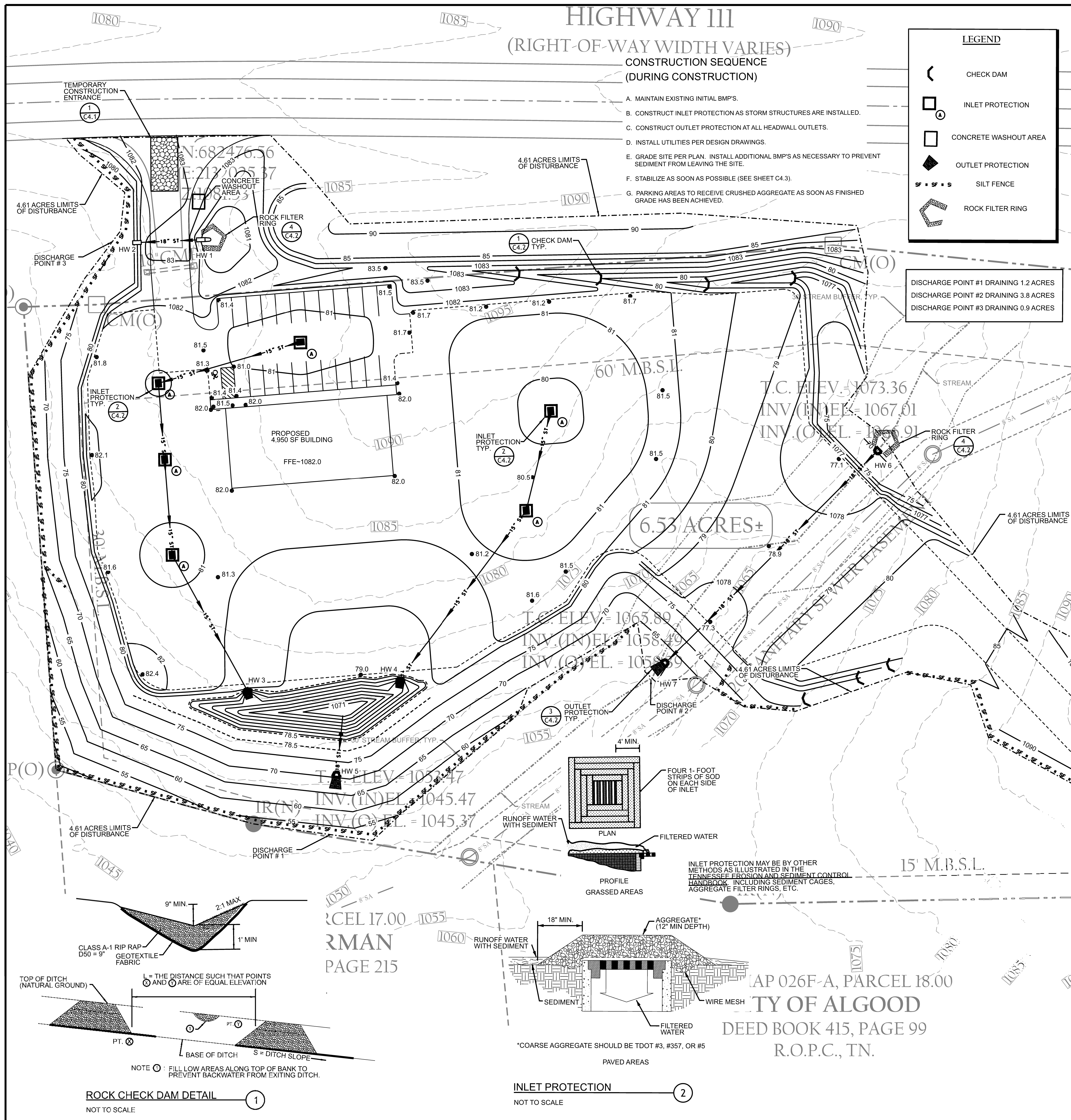
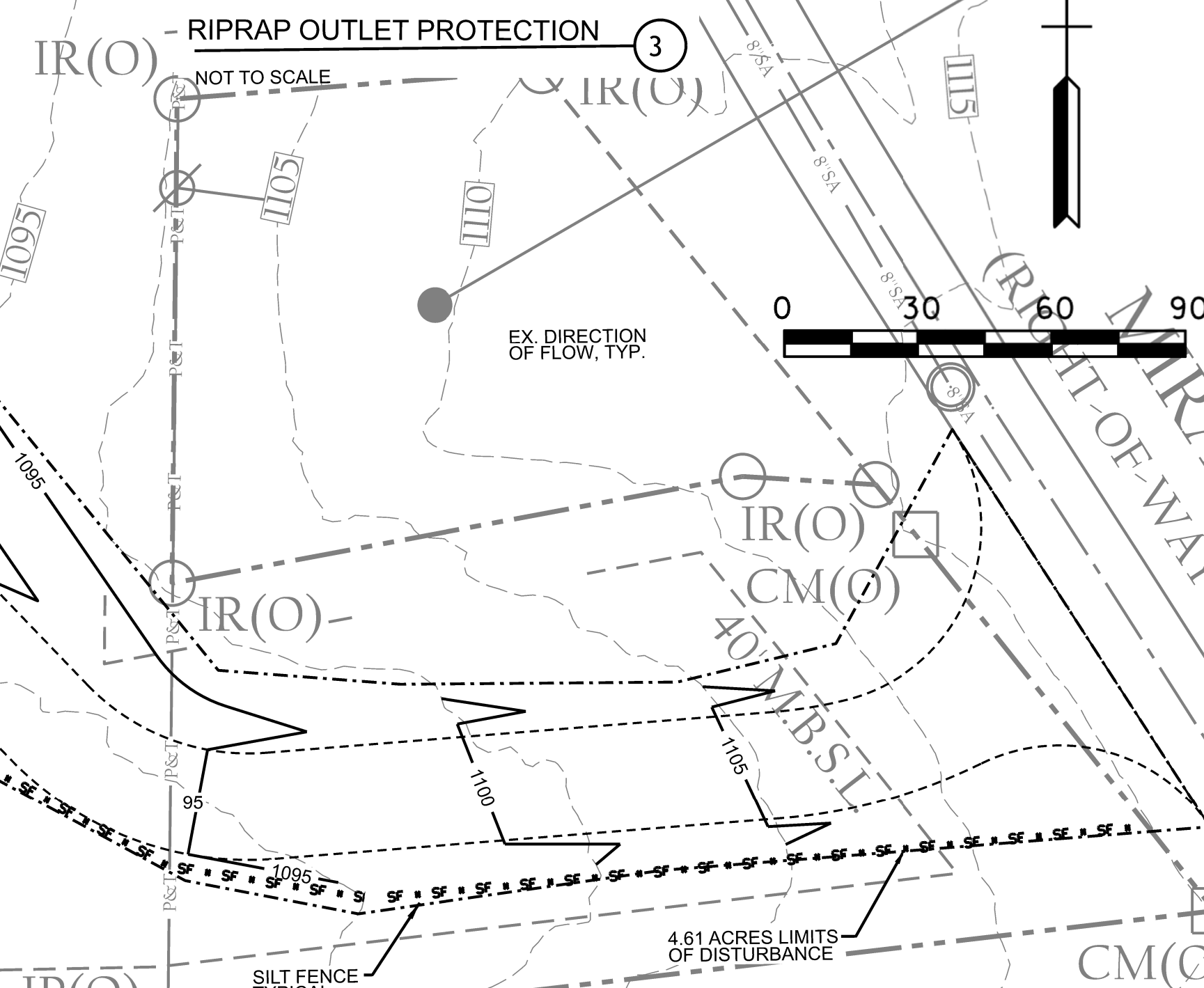
DISCHARGE POINT #1 DRAINING 1.2 ACRES
DISCHARGE POINT #2 DRAINING 3.8 ACRES
DISCHARGE POINT #3 DRAINING 0.9 ACRES



HEADWALL	WC(IN)	LA(FT)	D50(IN)
#3	15"	8	2
#4	15"	8	2



HEADWALL	WC(IN)	LA(FT)	D50(IN)
#5	18"	9	3.5
#7	18"	12	7

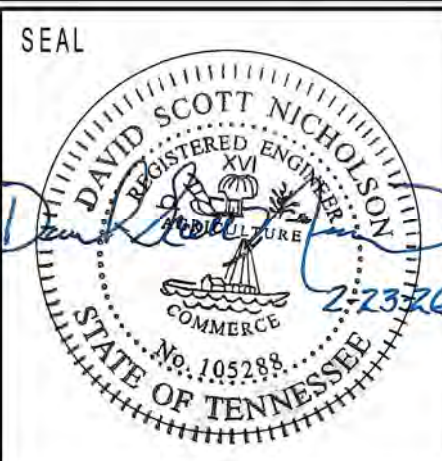


CES

CIVIL ENGINEERING AND SURVEYING, LLC

14 EAST STEVENS STREET
COCKEVILLE, TENNESSEE 38501

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REVISIONS
1.
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CIVIL PLANS FOR	
MACK CONSTRUCTION	
OWNER	LOCATION
MACK CONSTRUCTION	ALGOOD, TENNESSEE

SHEET NO.	C4.2
TITLE	EPSC - DURING CONSTRUCTION
PROJECT NUMBER	DATE 25-19 11-20-25

1. ALL DISTURBED AREAS OUTSIDE OF BUILDINGS, PAVEMENT AND LANDSCAPE AREAS SHALL RECEIVE 6-INCHES OF TOPSOIL, SEED, FERTILIZER AND MULCH. AREAS WITH SLOPES 3:1 OR GREATER SHALL RECEIVE STABILIZATION OR EROSION CONTROL MATTING AS SHOWN ON THIS PLAN IN LIEU OF MULCH.
2. UPON STABILIZATION OF THE SITE, THE CONTRACTOR SHALL REMOVE THE REMAINING TEMPORARY BMPs. THE CONTRACTOR SHALL INFORM THE OWNER THAT HE IS REQUESTING A TERMINATION OF THE NOTICE OF INTENT FOR CONSTRUCTION STORM-WATER PERMIT (NOI).
3. BMPs SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED UNTIL SUCH TIME AS THE DISTURBED AREAS HAVE BEEN STABILIZED BY TDEC AND A NOTICE OF TERMINATION HAS BEEN ISSUED.

